

Scale: 1:200 @ A3



THIS PLAN IS ON M.M.
LOT 3 DP 16361
AREA 530.0 M²

SPECIAL NOTES :

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Works by Builder

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LEGEND

EXISTING
DWELLING

PROPOSED
ADDITION

LANDSCAPE

PROPOSED
CAR PARKING
SPACE

PROPOSED
VEHICLE
CROSSING

PROPOSED
RETAINING
WALL

REMOVED

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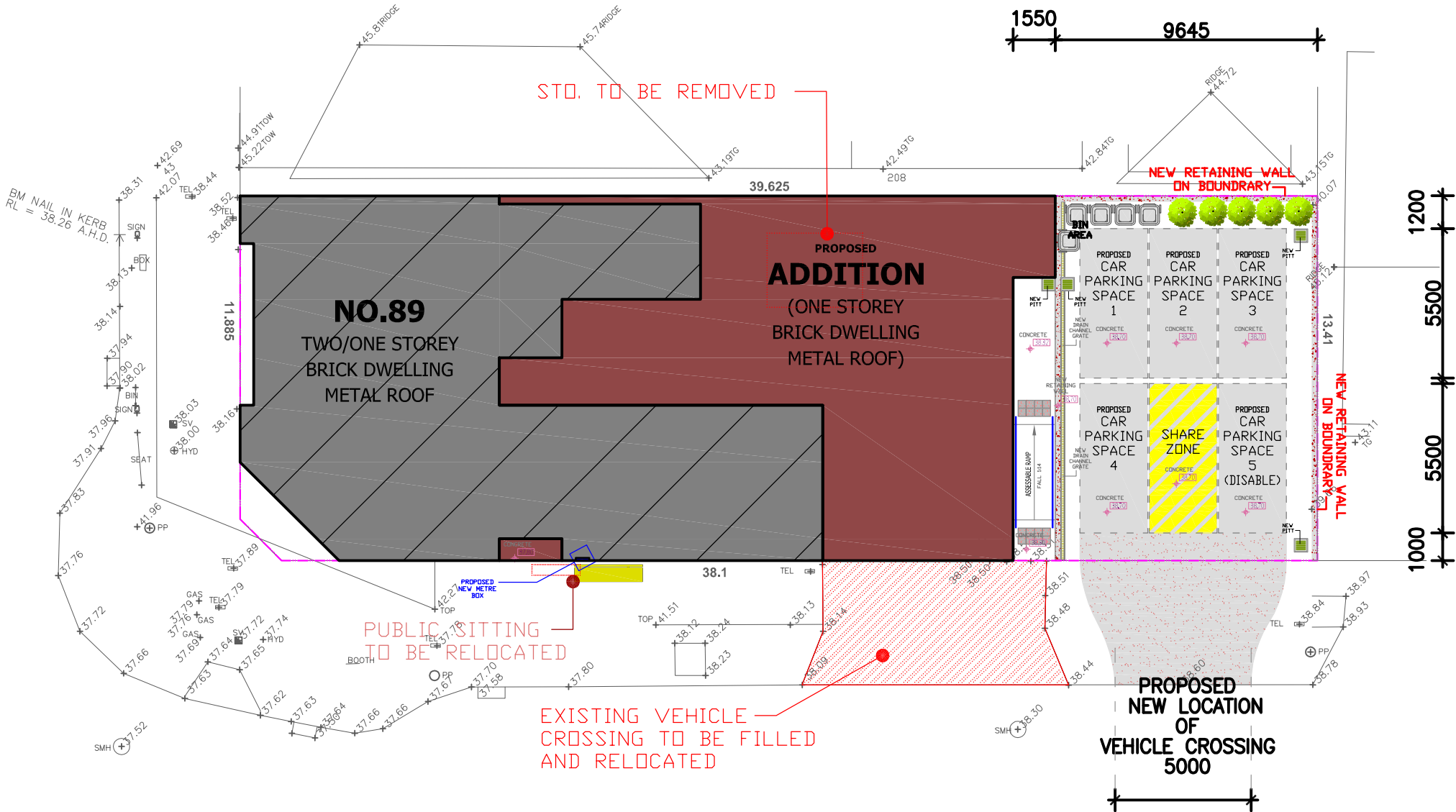
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Fax: **02 9553 7177**
Email : **john@mgroupe.com.au**
anthony@mgroupe.com.au
sam@mgroupe.com.au
john.boar@mgroupe.com.au

PROPOSED ALTERATION & ADDITION
JOB : 89 AUBURN ROAD, BIRROING NSW 2143
FOR : **CHI HUA LO & CHIV HUAY TSE**
DRAWN BY : **S. L.** SCALE: 1:200 A3
DATE: MAY 2023
DRAWING : No.8372/23 SHEET : 1

SUB	Detail	Date
DA	CONCEPT DESIGN	30/05/23
DA	FINAL - REV. 1 VER. A	28/06/23

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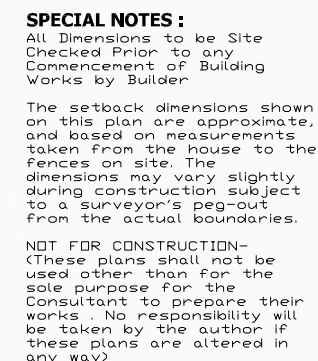
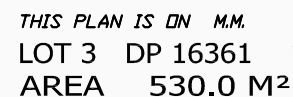


SITE ANALYSIS CALCULATION

1.	SITE AREA	530.0 m ²
2.	EXISTING AREAS	
2-1.	GROUND FLOOR	197.6 m ²
2-2.	FIRST FLOOR	103.4 m ²
2-2.	STORAGE SHED	9.564 m ²
3.	PROPOSED AREAS	
3-1.	GROUND FLOOR ADDITION	157.6 m ²
3-2.	REAR PARKING SPACE	68.75 m ²
3-2.	VEHICEL CROSSING	28.80 m ²
4.	TOTAL GROSS FLOOR AREA	
4-1.	ITEM 2-1. + ITEM 2-2. + ITEM 3-1. =	458.6 m ²
5.	FLOOR SPACE RATIO	
5-1.	(ITEM 4-1. / ITEM 1.) : 1 =	0.87 : 1
6.	SITE COVERAGE	
6-1.	ITEM 2-1. + ITEM 3-1. =	355.2 m ²
6-2.	ITEM 6-1. / ITEM 1. =	67 %

SITE PLAN

SCALE 1:200



EX.	-	EXISTING
PROP.	-	PROPOSED

W	WINDOW
D	DOOR
DS	DISH SINK
WR	CLOTH WARDROBE
SLIDE	SLIDE DOOR
CT	COOK TOP
FR	FRIDGE
SH	STAND SHOWER
WM	WASHING MACHINE
SK	LAUNDRY SINK
HB	HAND BASIN
BIN	RUBBISH BIN
FW	FLOOR WASTE
BT	BATHTUB
TO	TOILET PAN
HWS	HOT WATER SYSTEM
HINGE	HINGE DOOR
UP	STEP GO UP
DN	STEP GO DOWN
BI FOLD	BI FOLD DOOR
MCW	MICROWAVE
CDM	CLOTH DRYER MAC
OV	OVEN
DW	DISHWASHER
ST	STORAGE AREA
LIN.	LINEN WARDROBE
SA	SAUNA
FD	OUTDOOR FLOOR DRAIN
TL	TUBE SKYLIGHT
CH	LAUNDRY CHUTE
BG	BOX GUTTER
BH	BENCH
GF	GLASS FIT
PS	PRIVACY SCREEN
MV	MACHINAL VENTILATOR
A/U	AIR CONDITIONING UNIT
CH	CHUTE
PE	POOL EQUIPMENT
BD	EXAMINATION BED
DK	DESK
DO1	DOOR 920MM WIDE
DO2	DOOR 480MM WIDE
DO3	DOOR 1025MM WIDE

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THIS PLAN IS ON M.M.
LOT 3 DP 16361
AREA 530.0 M²

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LEGEND

E.X. - EXISTING
PROP. - PROPOSED

W WINDOW
D DOOR
DS DISH SINK
W/R CLOTH WARDROBE
SLIDE SLIDE DOOR
CT COOK TOP
FR FRIDGE
SH STAND SHOWER
WM WASHING MACHINE
SK LAUNDRY SINK
HB HAND BASIN
BIN RUBBISH BIN
FW FLOOR WASTE
BT BATHTUB
TO TOILET PAN
HWS HOT WATER SYSTEM
HINGE HINGE DOOR
UP STEP GO UP
DN STEP GO DOWN
BI FOLD BI FOLD DOOR
MW MICROWAVE
CDM CLOTH DRYER MAC
OV OVEN
DW DISHWASHER
ST STORAGE AREA
LIN. LINEN WARDROBE
SA SAUNA
FD OUTDOOR FLOOR DRAIN
TL TUBE SKYLIGHT
CH LAUNDRY CHUTE
BG BOX GUTTER
BH BENCH
GF GLASS FIT
PS PRIVACY SCREEN
MV MECHANICAL VENTILATION
A/U AIR CONDITIONING UNIT
CH CHUTE
PE POOL EQUIPMENT
BD EXAMINATION BED
DK DESK

D01 DOOR 920MM WIDE
D02 DOOR 480MM WIDE
D03 DOOR 1075MM WIDE

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39.625

FALL 5°

38.1

FIRST FLOOR PLAN

SCALE 1:100

WINDOW SCHEDULE

W01	-	1500X900	S	1.35	M ²	AWNING
W02	-	1500X900	S	1.35	M ²	AWNING
W03	-	1500X900	S	1.35	M ²	AWNING
W04	-	1500X900	S	1.35	M ²	AWNING
W05	-	900X1500	E	1.35	M ²	AWNING
W06	-	900X1500	E	1.35	M ²	AWNING

PUBLIC SITTING
TO BE RELOCATED

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W WINDOW
D DOOR
DS DISH SINK
W/R CLOTH WARDROBE
SLIDE SLIDE DOOR
CT COOK TOP
FR FRIDGE
SH STAND SHOWER
WM WASHING MACHINE
SK LAUNDRY SINK
HB HAND BASIN
BIN RUBBISH BIN
FW FLOOR WASTE
BT BATHTUB
TO TOILET PAN
HWS HOT WATER SYSTEM
HINGE HINGE DOOR
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MW MICROWAVE
CDM CLOTH DRYER MAC
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DW DISHWASHER
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SA SAUNA
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PS PRIVACY SCREEN
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39.625

208

PROPOSED
NEW ROOF

FALL 5°

EXISTING

BALCONY TO
BE REMOVED

PUBLIC SITTING
TO BE RELOCATED

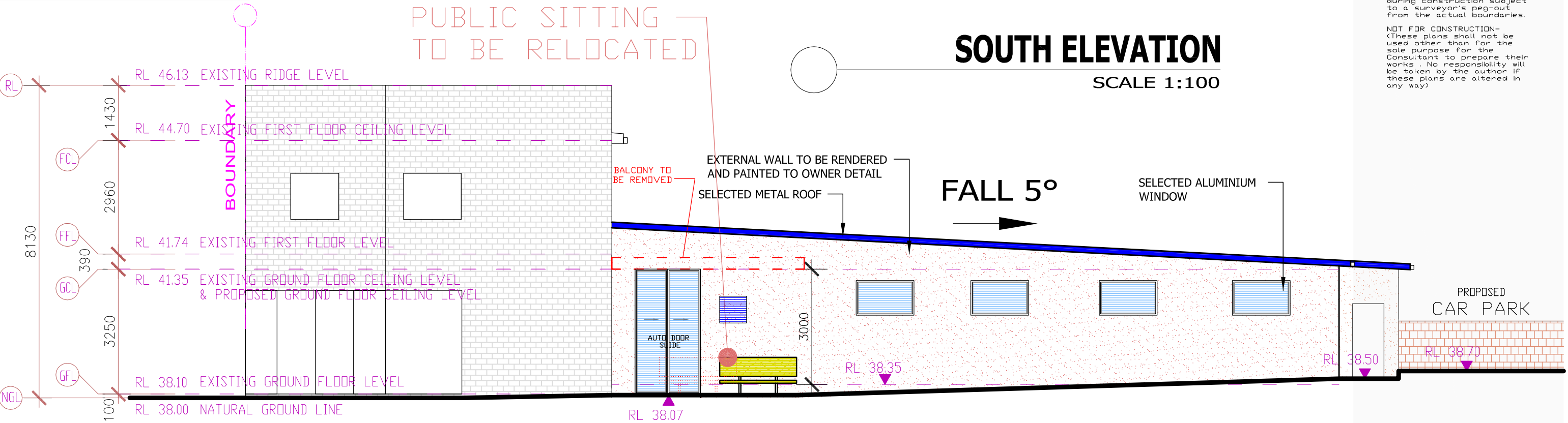
WINDOW SCHEDULE

W01	-	1500X900	S	1.35	M ²	AWNING
W02	-	1500X900	S	1.35	M ²	AWNING
W03	-	1500X900	S	1.35	M ²	AWNING
W04	-	1500X900	S	1.35	M ²	AWNING
W05	-	900X1500	E	1.35	M ²	AWNING
W06	-	900X1500	E	1.35	M ²	AWNING

ROOF PLAN

SCALE 1:100

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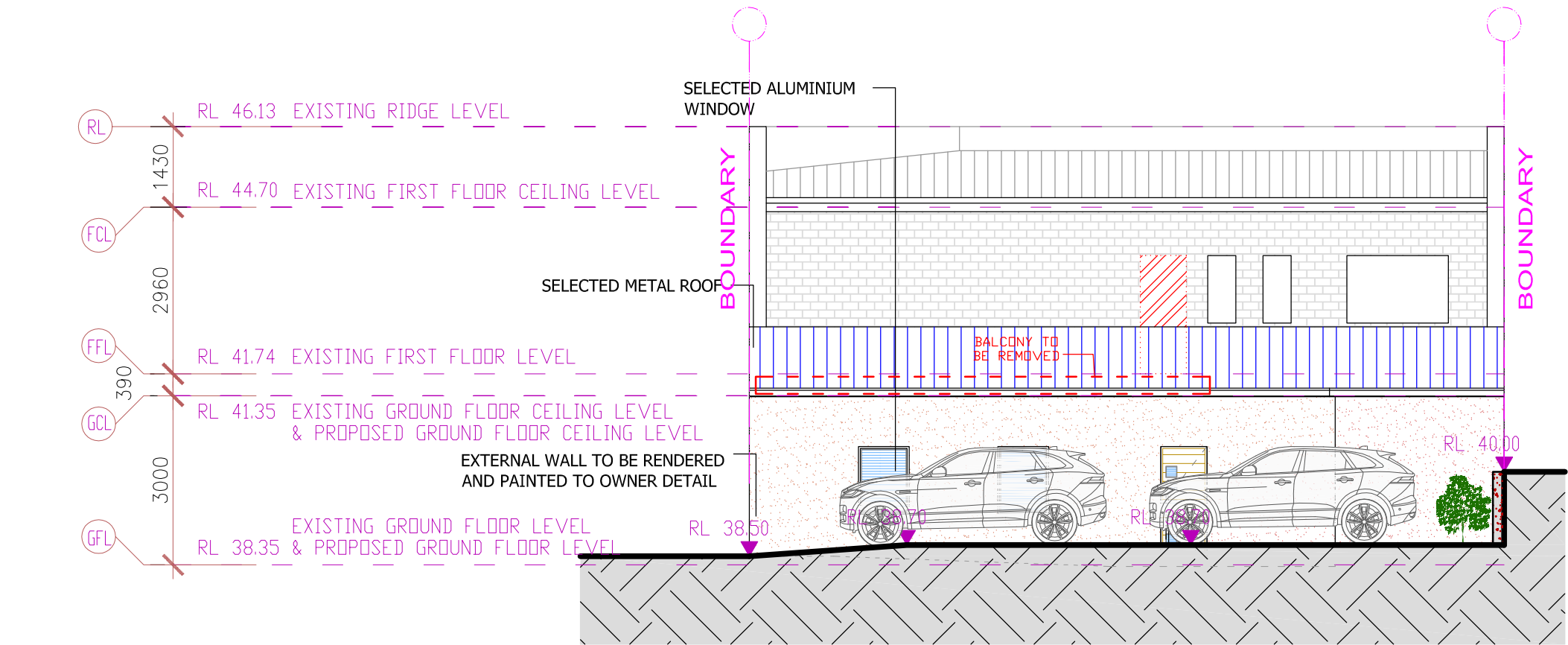


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EAST ELEVATION

SCALE 1:100

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AREA 530.0 M²

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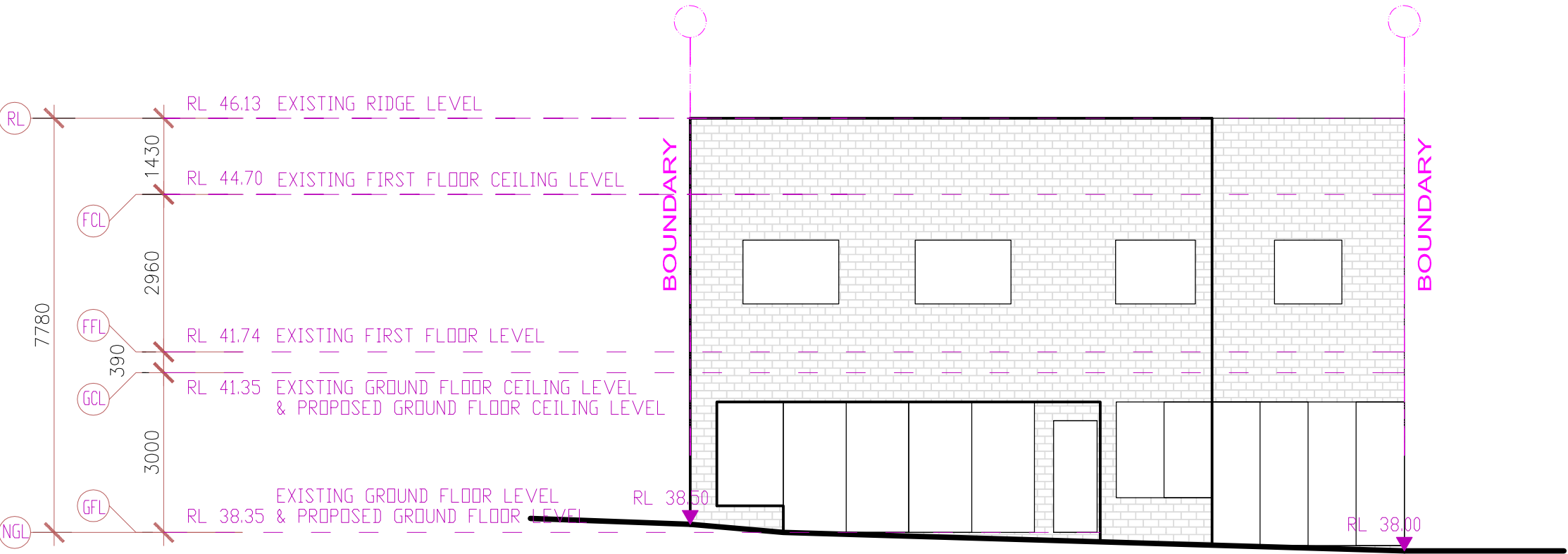
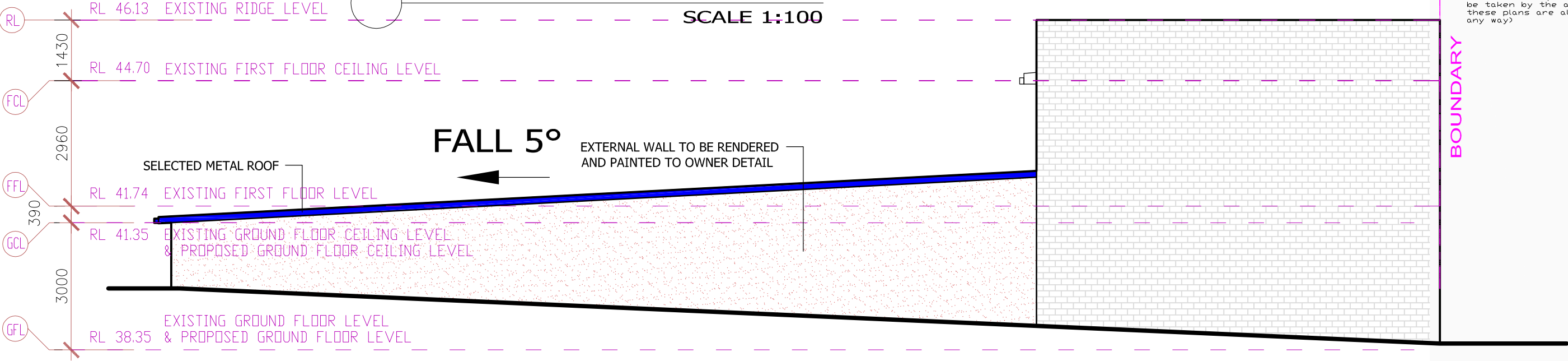
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NORTH ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100

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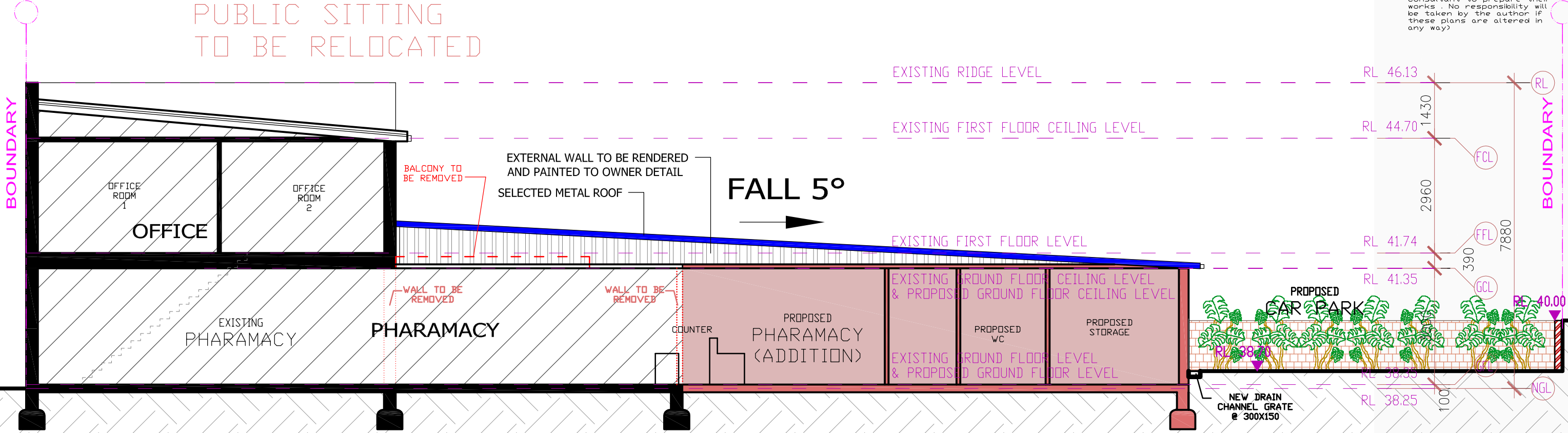
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PUBLIC SITTING
TO BE RELOCATED



NOTES

- TERMITE RISK MANAGEMENT COMPLYING WITH PART 3.1.3 NCC VOL 2; COMPRISING
 - (A) TERMITE BARRIER OR COMBINATION OF BARRIERS INSTALLED IN ACCORDANCE WITH
 - (i) AS 3660.1; OR
 - (ii) PART 3.1.3.3 OF NCC FOR CONCRETE SLABS ON GROUND
 - (iii) PART 3.1.3.4 OF THE NCC FOR SUSPENDED FLOORS
 - (B) INSTALLATION OF A DURABLE NOTICE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT LOCATION(METER BOX) INDICATING
 - (i) THE METHOD OF TERMITE RISK MANAGEMENT
 - (ii) THE DATE OF INSTALLATION OF THE SYSTEM
 - (iii) WHERE A CHEMICAL BARRIER IS USED ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL AUTHORITY LABEL
 - (iv) THE INSTALLERS OR MANUFACTURERS RECOMMENDATIONS FOR FUTURE INSPECTIONS
- DRAINAGE COMPLYING WITH PART 3.1.2 NCC VOL 2, AND AS/NZS 3500, INCLUDING
 - FOOTING AND SLAB PREPARATION,STEELWORK , CONCRETE AND CONSTRUCTION COMPLYING WITH PART 3.2 AND 3.11 NCC VOL 2
 - INSTALL A CONTINUOUS WATERPROOF MEMBRANE TO ANY SLAB CONSTRUCTION FOR A HABITABLE BUILDING BETWEEN THE CONCRETE SLAB CONSTRUCTION AND SURFACE TO CLAUSE 3.2.2.6 NCC VOL 2
 - TIMBER FRAMING CONSTRUCTION COMPLYING WITH PART 3.4.3 NCC VOL 2 INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES,SPACES, BRACING , SPANS , LOCATIONS AND STRESS GRADES, WHERE ROOF TRUSSES ARE TO BE USED, PROVIDE FULL DETAILS OF SAME. PRINCIPAL CERTIFYING AUTHORITY BEFORE ERECTIONOF THE ROOF FRAME, INCLUDING BRACING DETAILS
 - SARKING MATERIALS USED IN THE ROOF OF THE CLASS 1 BUILDING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5. COMPLYING WITH CLAUSE 3.7.1.9 NCC VOL 2 AND BE SUITABLE FOR WEATHERPROOFING
 - MASONRY CONSTRUCTION COMPLYING WITH PART 2.2 NCC VOL 2
 - GLAZING COMPLYING WITH PART 3.6 NCC VOL 2
 - INSTALLATION OF SMOKE DETECTORS TO COMPLY WITH PART 3.7.2.2 NCC VOL 2, INCLUDING SMOKE ALARMS
 - STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 NCC VOL 2 INCLUDING GEOMETRY AND CONSTRUCTION REQUIREMENTS
 - BALUSTRADES / BARRIERS TO COMPLY WITH PART 3.9.2 NCC VOL 2
 - WATERPROOFING OF WET AREAS INCLUDING BATHROOMS,SHOWERS, LAUNDRIES , SANITARY COMPARTMENTS AND THE LIKE COMPLYING WITH PART 3.8.1 NCC VOL 2 AND AUSTRALIAN STANDARD 3740
 - TIMBER FRAMEWORK COMPLYING WITH ALL RELEVANT PROVISIONS OF AUSTRALIAN STANDARD 1684-PARTS 2 & 4 INCLUSIVE OF REQUIREMENTS FOR TIMBER SIZES, SPACES, BRACING , SPANS , LOCATIONS AND STRESS GRADES.
 - AUSTRALIAN STANDARD AS 3500 PLUMBING AND DRAINAGE AND PART 5 DOMESTIC INSTALLATIONS
 - CEILING INSULATION TO COMPLY WITH NSW PARTS 3.12.1 BUILDING
 - BUILDING SEALING TO COMPLY WITH NCC PART 3.12.3
 - SERVICES TO COMPLY WITH NCC PART 3.12.5
 - STAIRS TO COMPLY WITH NCC PART 3.9.1.3

SECTION A-A

SCALE 1:100

NOTES :

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Australian Authorities.
2. All Building work to comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with AS3660.1-1995 Requirements.
4. All Dimensions shown are Theoretical only and are subject to Site Measure during Construction.
5. Do not Scale Of Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjoining Properties and Services.
7. Wet area waterproofing shall comply with Part 3.8.1 of B.C.A
8. All stair balustrades to comply with Part 3.9 of B.C.A
9. Mechanical ventilation to al internal bathrooms and w.f.'s shall comply with Part 3.8.5 of B.C.A.
10. All timber framing shall comply with AS 1684 and Part 3.4.8 of B.C.A.
11. All glazing to comply with Part 3.6 of B.C.A.
12. W.C. doors to comply with Part 3.8.3.3 of the B.C.A. (Housing Provisions)

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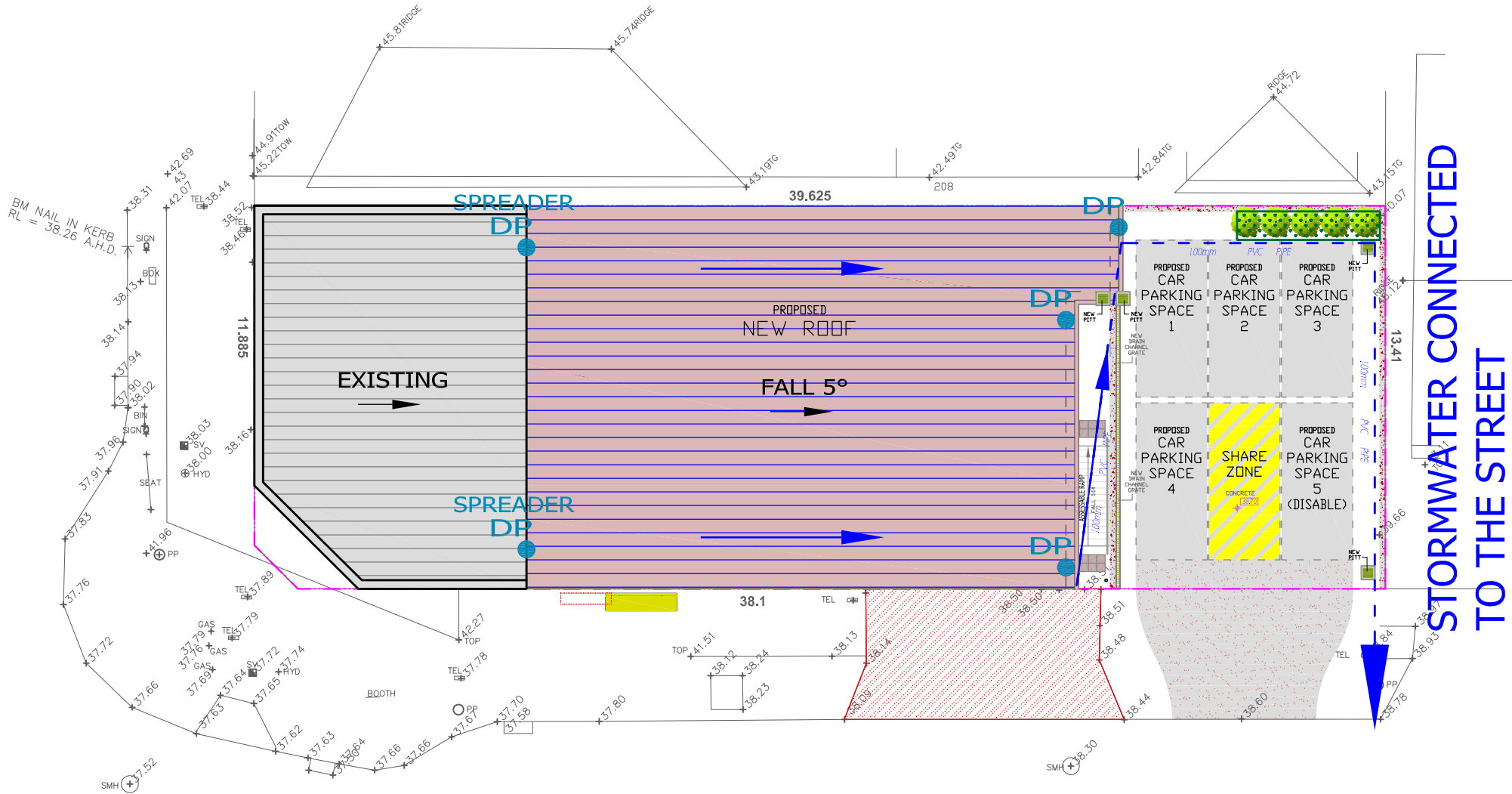
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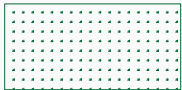
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AREA 530.0 M²

R O A D

A U B U R N



SITE AREA 530.0 M²



PERVIOUS AREA

5.300 M²
(1.0%)

S T R E E T

CONCEPT OF DRAINAGE PLAN

SCALE 1:200

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LEGEND

EXISTING
DWELLING

PROPOSED
ADDITION

LANDSCAPE

PROPOSED
CAR PARKING
SPACE

PROPOSED
VEHICLE
CROSSING

PROPOSED
RETAINING
WALL

REMOVED

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Email : john@mgroupe.com.au
anthony@mgroupe.com.au
sam@mgroupe.com.au
john.boar@mgroupe.com.au

PROPOSED ALTERATION & ADDITION

JOB : 89 AUBURN ROAD, BIRROING NSW 2143
FOR : CHI HUA LO & CHIV HUAY TSE
DRAWN BY : S. L. SCALE: 1:200 A3
DATE: MAY 2023
DRAWING : No.8372/23 SHEET : 8

SUB	Detail	Date
DA	CONCEPT DESIGN	30/05/23
DA	FINAL - REV. 1 VER. A	28/06/23

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A.B.N. 24 657 308 426

Scale: 1:200 @ A3



THIS PLAN IS ON M.M.
LOT 3 DP 16361
AREA 530.0 M²

SPECIAL NOTES :

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Checked Prior to any
Commencement of Building
Works by Builder

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LEGEND



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PROPOSED
ADDITION



LANDSCAPE



PROPOSED
CAR PARKING
SPACE



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VEHICLE
CROSSING



PROPOSED
RETAINING
WALL



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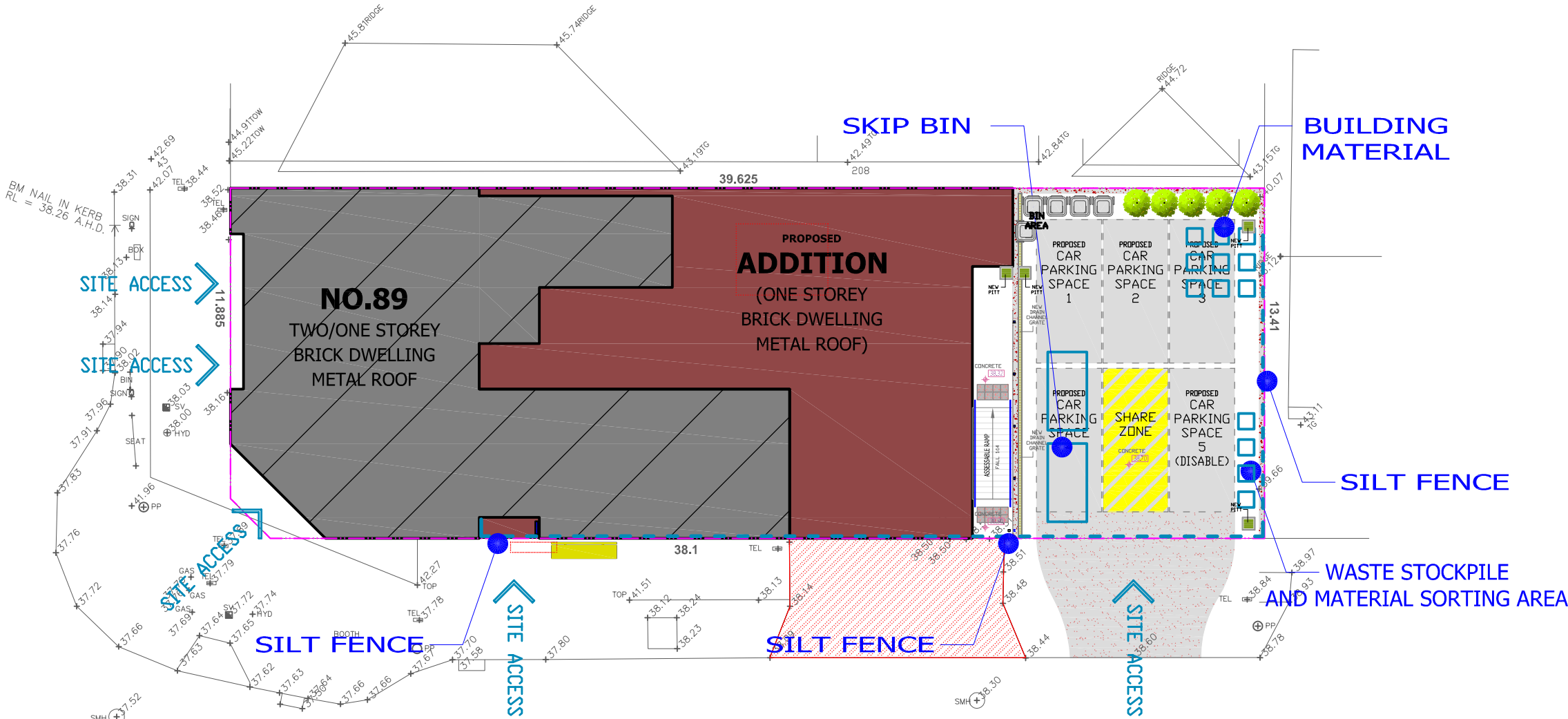
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FOR : CHI HUA LO & CHIV HUAY TSE
DRAWN BY : S. L. SCALE: 1:200 A3
DATE: MAY 2023
DRAWING : No.8372/23 SHEET : 9

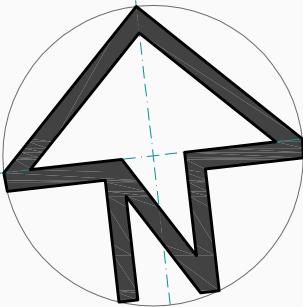
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EROSION AND SEDIMENTATION CONTROL PLAN

SCALE 1:200



Scale: 1:200 @ A3



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AREA 530.0 M²

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LEGEND



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DWELLING



PROPOSED
ADDITION



LANDSCAPE



PROPOSED
CAR PARKING
SPACE



PROPOSED
VEHICLE
CROSSING



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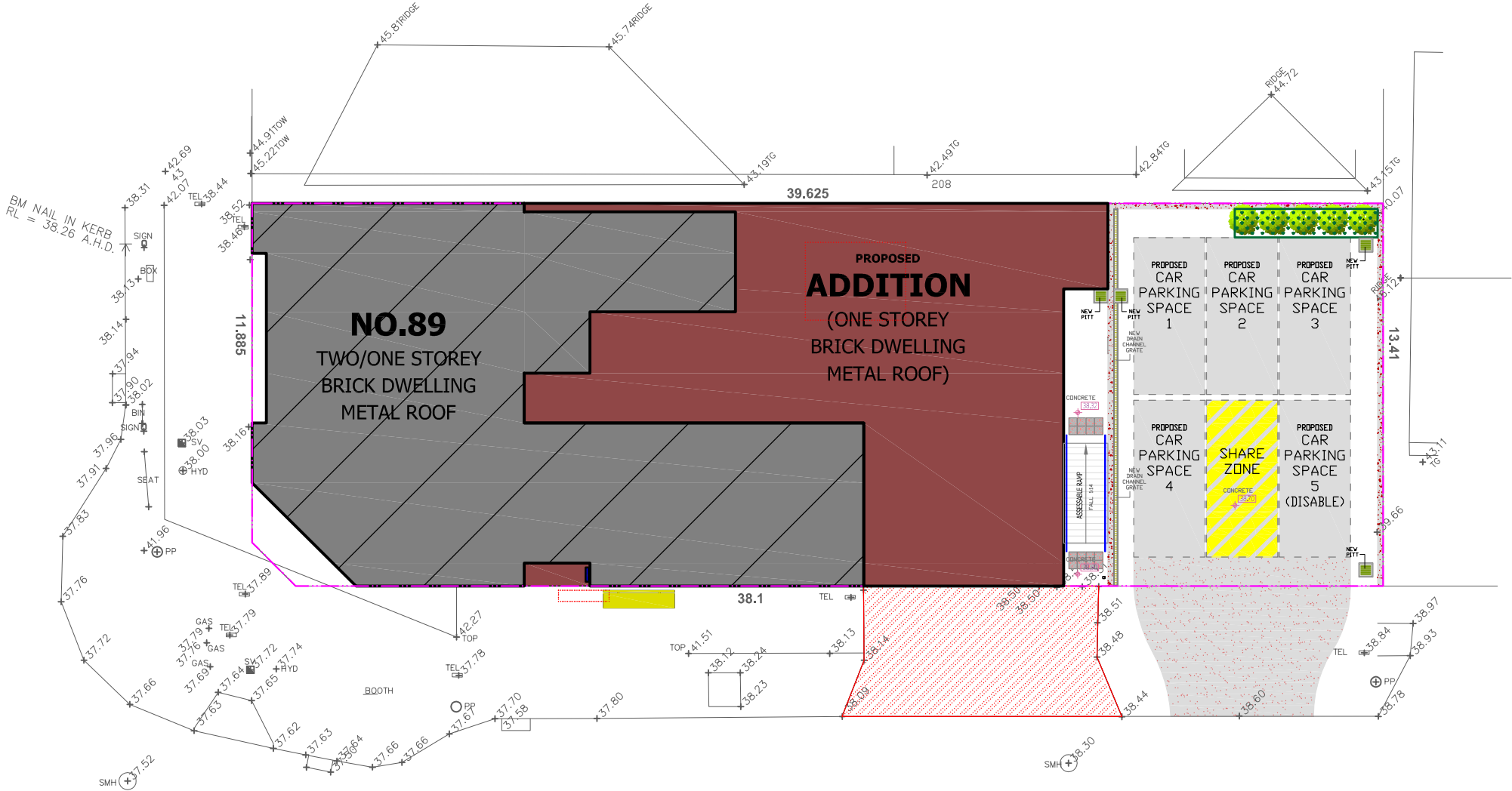
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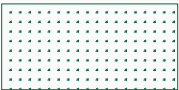
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JOB : 89 AUBURN ROAD, BIRROING NSW 2143
FOR : CHI HUA LO & CHIV HUAY TSE
DRAWN BY : S. L. SCALE: 1:200 A3
DATE: MAY 2023
DRAWING : No.8372/23 SHEET : 10

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SITE AREA 530.0 M²



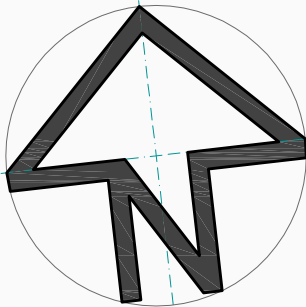
LANDSCAPE AREA

5.300 M²
(1.0%)

STREET

LANDSCAPE PLAN

SCALE 1:200



Scale: 1:200 @ A3



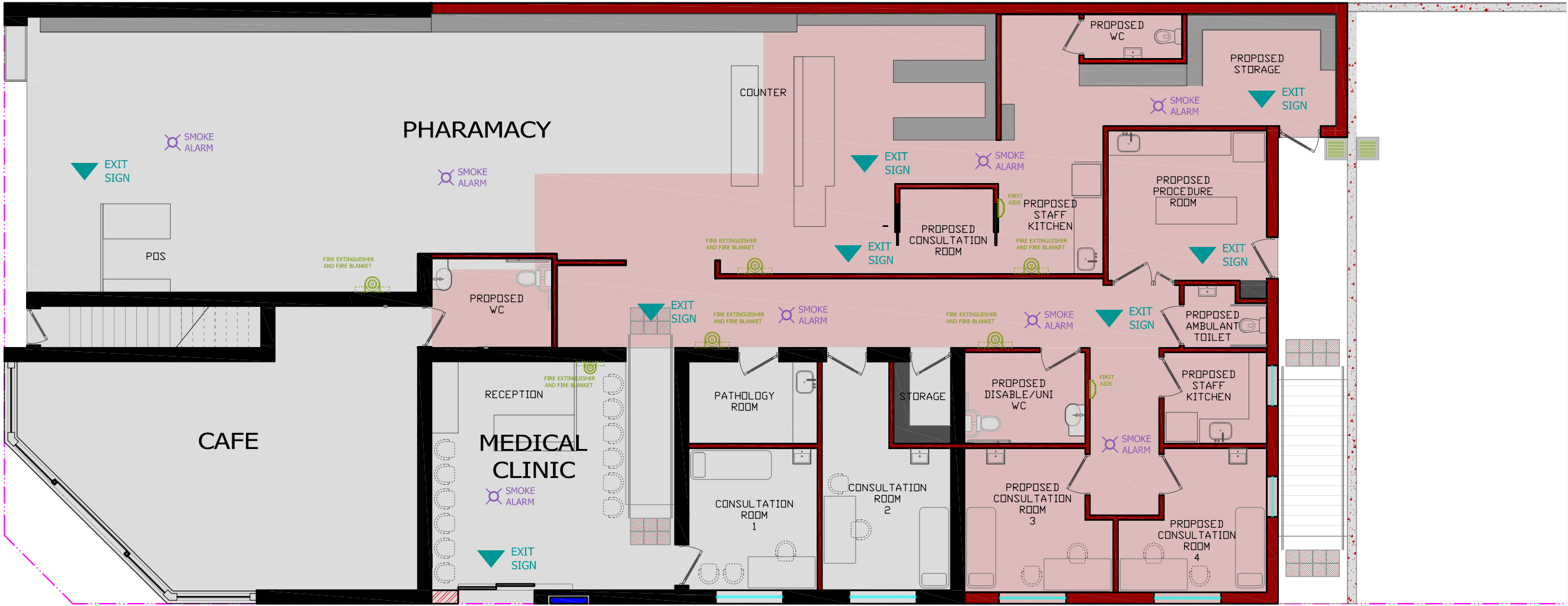
THIS PLAN IS ON M.M.
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PROPOSED ALTERATION & ADDITION
JOB : 89 AUBURN ROAD, BIRROING NSW 2143
FOR : **CHI HUA LO & CHIV HUAY TSE**
DRAWN BY : **S. L.** SCALE: 1:100 A3
DATE: MAY 2023
DRAWING : No.8372/23 SHEET : 11

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FIRE SAFETY PLAN

SCALE 1:100

